



MEMORANDUM

Development Services – Memo No. PZ17-093d

DATE: DECEMBER 6, 2017

TO: PLANNING AND ZONING COMMISSION

THRU: JEFF KURTZ, PLANNING ADMINISTRATOR
KEVIN MAYO, PLANNING MANAGER *JK*

FROM: ERIK SWANSON, AICP, SENIOR CITY PLANNER *ES*

SUBJECT: DVR17-0010/PLT17-0027 LUCINDA

Request: Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) for single-family residential with Preliminary Development Plan (PDP) approval for subdivision layout and housing product, along with Preliminary Plat (PLT) approval for 41 lots on approximately 14 acres

Location: Approximately one-half mile east of the northeast corner of Riggs and McQueen roads

Applicant: Nathan Larson; Bowman Consulting

Project info: 41 lots, approximate 14-acre site, 3.09 du/ac

At the October 4, 2017, Planning Commission hearing the item was sent to the Design Review Committee (DRC) to specifically address concerns relating to the front entryway design, overall layout, landscape palette, and location of the amenity area, among other items. The proposal was modified according to comments received from the DRC and was continued from the November 1st and 15th, 2017, Planning Commission hearings to finalize design details.

RECOMMENDATION

Planning Staff, upon finding the request to be consistent with the General Plan, recommends approval subject to conditions.

BACKGROUND

The approximate 14-acre site is located approximately one-half mile east of the northeast corner of Riggs and McQueen roads. The western 5.9-acres are currently going through the annexation process. The site is located between two properties that currently operate as vehicle storage yards within the jurisdiction of the County. At the northeast corner of the site, two residential lots

within the City are located, with a County island north of the site. The southwest corner of the site is a vacant property within the jurisdiction of the County and an existing carwash facility within the jurisdiction of the City. The southern boundary is Riggs Road, with the Springfield single-family residential subdivision south of Riggs Road.

The site is located within the Southeast Chandler Area Plan (SECAP) and designated as Rural/Agrarian Character. The designation allows for residential densities to be considered with a maximum density allowance of 3.5 du/ac.

Since the site is within the SECAP, design elements are required in order to achieve a density greater than 2.5 du/ac. The request is for a density of 3.09 du/ac. When the SECAP was adopted the design requirements provided options, such as common area lakes that were intended for larger residential developments. As development has occurred since the implementation of the SECAP, remaining areas of land for subdivision assemblage has become more difficult, resulting in smaller subdivisions. As a result of having smaller subdivisions application of some of the density incentives has become more challenging, resulting in staff reviewing development proposals and ensuring that the intent of the SECAP is provided. The request meets the requirements of the SECAP.

SITE LAYOUT/HOUSING PRODUCT

The 41 lot single-family residential subdivision is accessed from Riggs Road, with a secondary, emergency access point located at the north end of the subdivision, off of Victoria Street. Homes are setback approximately 140-feet from the Riggs Road frontage with a deep landscape setback area along the Riggs Road frontage. The design team has approached the landscaping theme utilizing a row planting motif. Planter boxes are provided at the entry to the subdivision providing a tiered look. The main amenity area has been shifted following the DRC meeting, bringing the area closer to the entry and becoming a visual focal point. The landscape palette has been refined and plant materials adjusted responding to the received comments.

Five plans are provided, with a square footage range of 1,942 to 3,113 square feet. Three single-story and two, two-story plans are provided. Four elevations styles are provided; three per plan. Lot sizes range from approximately 7,000 square feet up to 10,000 square feet. Four-sided architecture is provided by means of specific window muntin patterns, garage door designs, shutter details, inclusion of metal design elements, and exposed rafter tails depending on the architectural style of the home. Standard setbacks are provided with the exception of lots 1-4, and 35 will have 10-foot side yards. When lots are adjacent to or back up to agriculturally zoned properties, historically we have required a deeper rear yard setback. In the case of lots 29-34, the homebuilder prefers not to create a deeper rear yard setback, but would rather require that the garages maintain a 20-foot front setback. Because of the deeper lots, the lots will naturally have a deeper rear setback to the main body of the home ranging from 60-70 feet for a two-story home, and 50-60 feet for a single-story home. Standard rear yard setbacks are 20' for single-story and 30' for two-story homes. A reduced rear setback of five-feet is provided for ramadas and accessory structures, with the exception that lots 29-34 will require a ten-foot rear setback. Refinements were made to the housing products as a result of the DRC, including changes to some of the roof design, pop-outs, a window treatments.

DISCUSSION

Planning Staff supports the request, finding that the development incorporates a number of design elements as envisioned by the SECAP, and as a result of the feedback provided by the DRC, has designed a better subdivision. While the development is smaller than originally anticipated for the SECAP, the design team has provided features that meet the intent of keeping the agrarian theming of the area.

PUBLIC/NEIGHBORHOOD NOTIFICATION

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on Tuesday, July 25, 2017; six neighbors attended the meeting and asked general questions.
- Planning Staff has received one phone call from a nearby resident in the County with questions about the process and when Victoria Street may be constructed.
- As of the writing of this memo, Planning Staff is not aware of any opposition to the request.

RECOMMENDED ACTIONS

Rezoning

Planning Staff recommends Planning Commission motion to recommend approval of DVR17-0010 LUCINDA, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Lucinda" and kept on file in the City of Chandler Planning Division, in File No. DVR17-0010, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.

7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
8. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
9. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Transportation & Development Director for arterial street median landscaping.
10. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
11. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Staff recommends Planning Commission motion to recommend approval of DVR17-0010 LUCINDA, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Lucinda", and kept on file in the City of Chandler Planning Division, in File No. DVR17-0010, except as modified by condition herein.
2. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
3. No more than two identical side-by-side roof slopes should be constructed along arterial or collector streets or public open space.

December 6, 2017

4. The same elevation shall not be built side-by-side or directly across the street from one another.
5. All homes built on corner lots within the residential subdivision shall be single-story.
6. No more than two, two-story homes shall built side-by-side for lots 1-4.
7. Lots 1-4 shall have 10-foot side yard setbacks.
8. Lots 29-34 shall have a building setback of 20-feet to the face of the garage.

Preliminary Plat

Planning Staff recommends Planning Commission motion to recommend approval of PLT17-0027 LUCINDA, subject to the following conditions:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Rezoning or Preliminary Development Plan

Motion Planning Commission to recommend approval of rezoning DVR17-0010 LUCINDA, rezoning from AG-1 to PAD for single-family residential, subject to the conditions recommended by Planning Staff.

Preliminary Development Plan

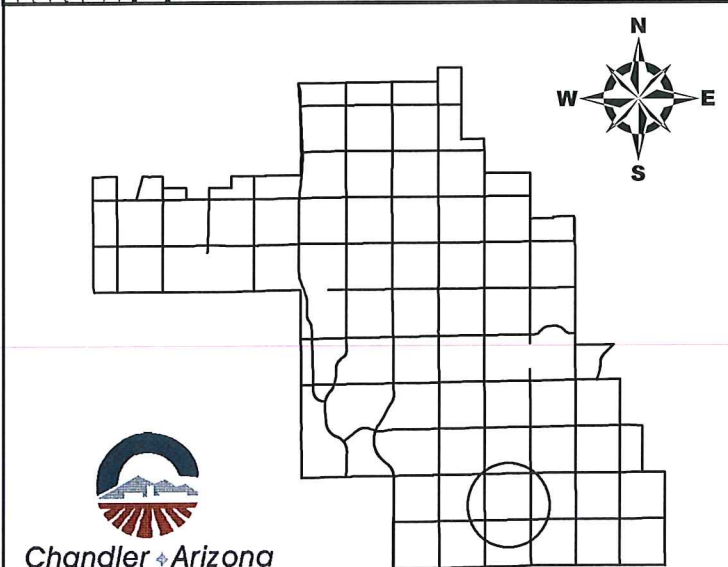
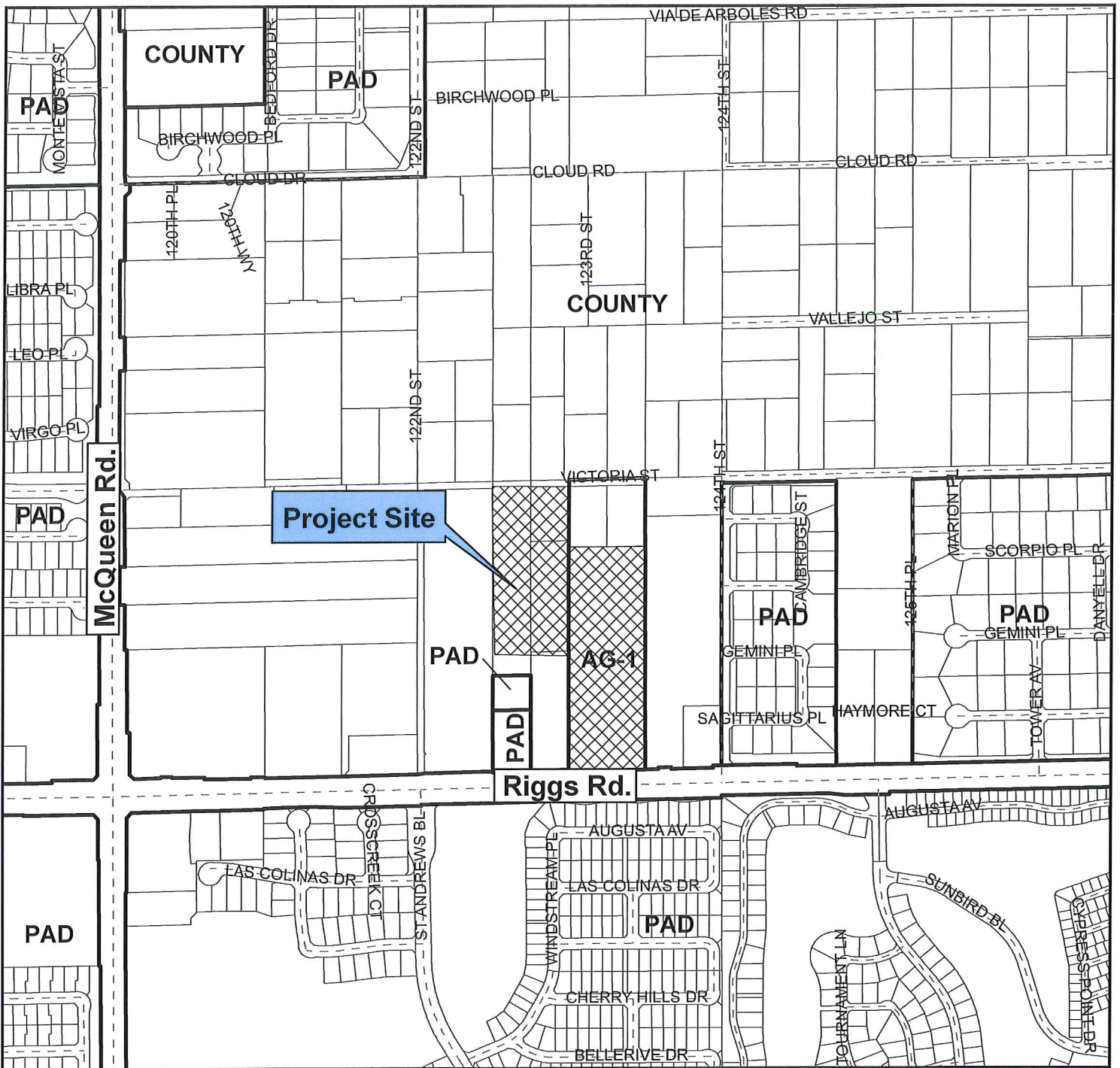
Motion Planning Commission to recommend approval of Preliminary Development Plan DVR17-0010 LUCINDA, for subdivision layout and housing product, subject to the conditions recommended by Planning Staff.

Preliminary Plat

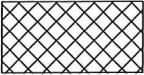
Motion Planning Commission to recommend approval of Preliminary Plat PLT17-0027 LUCINDA, approval for a 41-lot single-family residential subdivision, subject to the condition recommended by Planning Staff.

Attachments

1. Vicinity Maps
2. Site Plan
3. Landscape Plan
4. Representative Building Elevations
5. Letter of Support
6. Development Booklet, Exhibit A



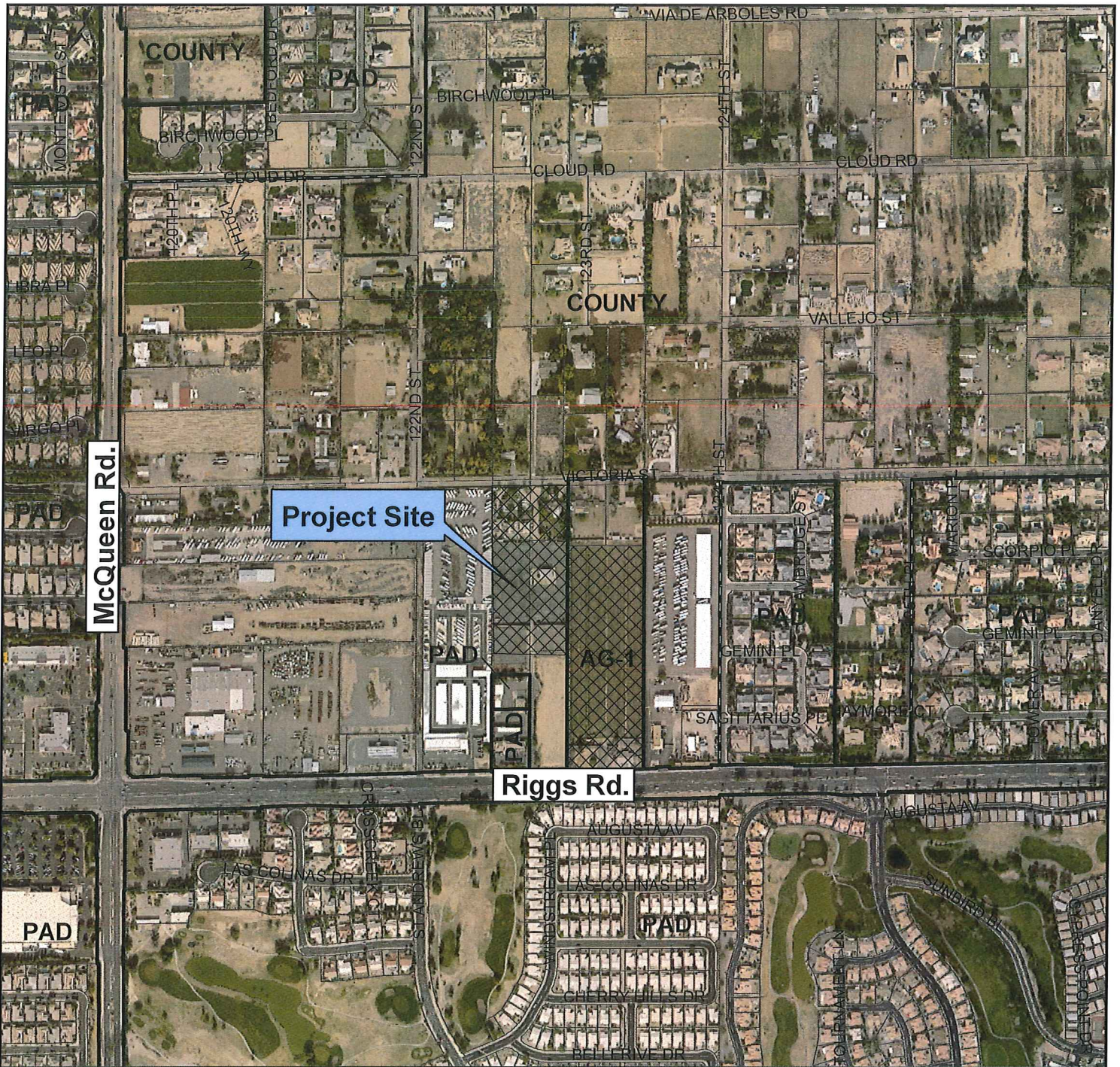
Vicinity Map

 **DVR17-0010**

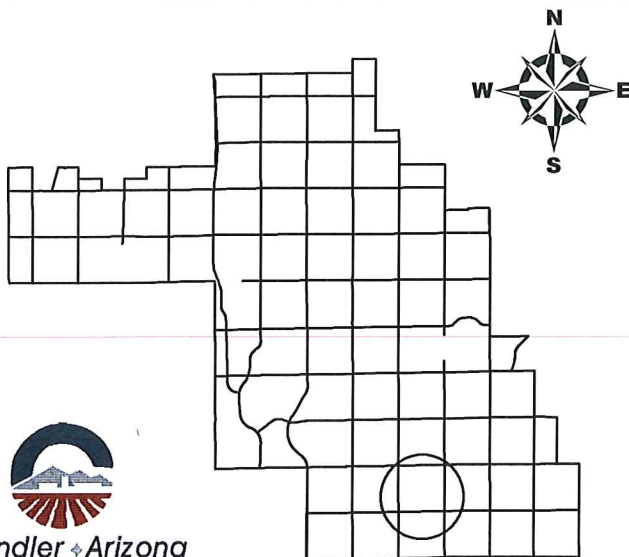
Lucinda

CITY OF CHANDLER 5/10/2017





Vicinity Map



DVR17-0010

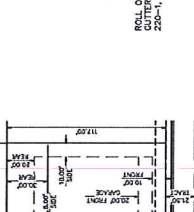
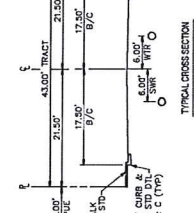
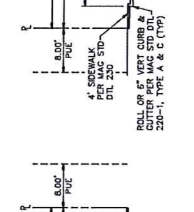
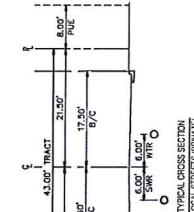
Lucinda

SITE DATA TABLE

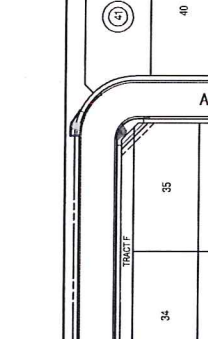
APPLICANT:	BOWMAN CONSULTING
DEVELOPER:	BLAZER HOMES
EXISTING ZONING:	RLU-1 (MARICOPA COUNTY)
PROPOSED ZONING:	PMD
GROSS ACRES:	13.74 AC
NET ACRES:	13.32 AC
NUMBER OF LOTS:	41
NET DENSITY:	3.08 DU/AC
OPEN SPACE:	2.47 AC (18.60 %)

SETBACK TABLE

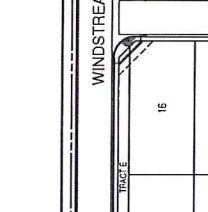
MINIMUM LOT SIZE:	60' X 117'
FRONT YARD SETBACK:	10' TO SIDE ENTRANCE/VEHICLE
REAR YARD SETBACK:	20' TO FACE OF GARAGE
REAR YARD SETBACK:	20' FOR SINGLE STORY, 30' FOR TWO STORY FOR LOTS 1-2
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 3-4
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 5-6
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 7-8
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 9-10
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 11-12
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 13-14
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 15-16
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 17-18
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 19-20
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 21-22
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 23-24
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 25-26
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 27-28
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 29-30
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 31-32
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 33-34
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 35-36
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 37-38
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 39-40
REAR YARD SETBACK:	20' FOR SINGLE STORY, 40' FOR TWO STORY FOR LOTS 41



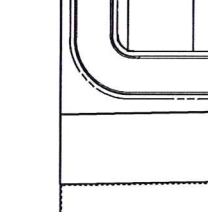
TYPICAL LOT SETBACK



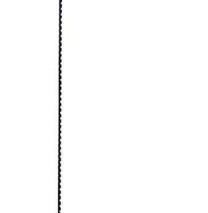
TYPICAL CROSS SECTION



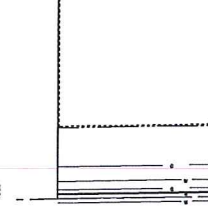
TYPICAL CROSS SECTION



TYPICAL CROSS SECTION



TYPICAL CROSS SECTION



TYPICAL CROSS SECTION





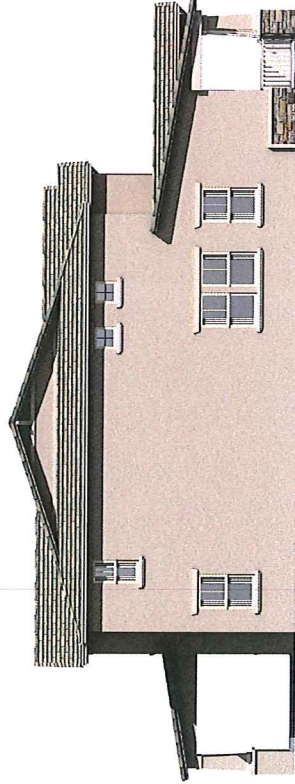
PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	PISTACHIA CHINENSIS	RED PISTACHE	15 GAL
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX
	SOPHORA SECURIFLORA	TEXAS MOUNTAIN LAUREL	15 GAL
	LILYUS PRIVIFOLIA	EVERGREEN ELM	24" BOX
SHRUBS/VINES			
	CLYTOSTOMA CALLISTECHOIDES	PINK TRUMPET VINE	5 GAL
	DODONAEA VISCOSA	HOP BUSH	5 GAL
	EREMOPHILA GLABRA	WINTER BLAZE	5 GAL
	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL
	LEUCOPHYLLUM ZYGOPHYLLUM	CHIHUAHUA SAGE	5 GAL
	NERUM GLENER	PETITE PINK CLEANDER	5 GAL
ACCENTS			
	ADONIS DISMETTIANA	ACONITE	5 GAL
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL
	MULLENBERGIA CAPILLARIS	REGAL MIST	5 GAL
	YUCCA RECURVIFOLIA	CURVELEAF YUCCA	5 GAL
GROUND COVER			
	CALLISTEMON VINIPLUS	LITTLE JOHN ROTLEBUSH	1 GAL
	EREMOPHILA GLABRA	OUTBACK SUNRISE EMU	1 GAL
	ROSMARINUS OFFICINALIS	ROSEMARY	1 GAL
	RUELLIA BRITTONIANA	KATIE RUELLIA	1 GAL
	KATIE	KATIE	1 GAL
TURF			
	HYDROSED BENMUDA		
INERT GROUND COVER			
	DECOMPOSED GRANITE	GRANITE EXPRESS BROWN	1/2" SCREENED
	PLAYGROUND WOOD CHIPS	FOR PLAY AREA	12" DEPTH
	CONCRETE PAVING	PLAIN CONCRETE	6" W X 4" HT.

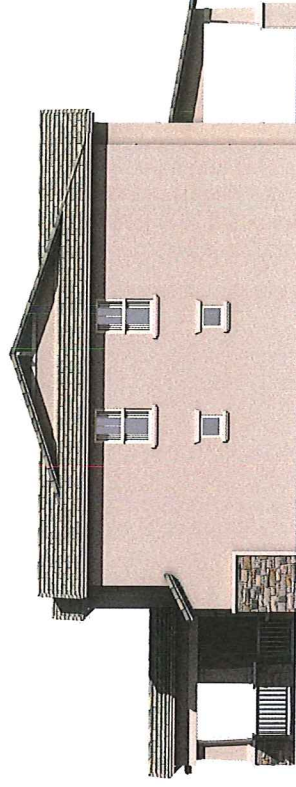
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Job No: 17017
Date: 10.31.17
PLT 17-0027
PRELIMINARY -
NOT FOR
CONSTRUCTION
PL-1 of 4



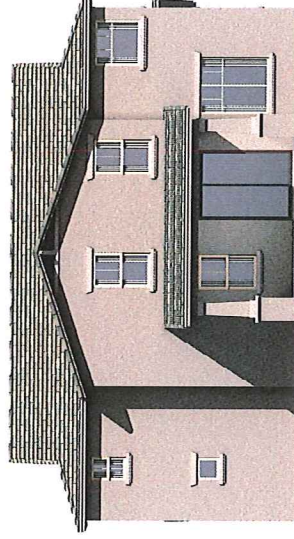
Front Elevation



Left Elevation



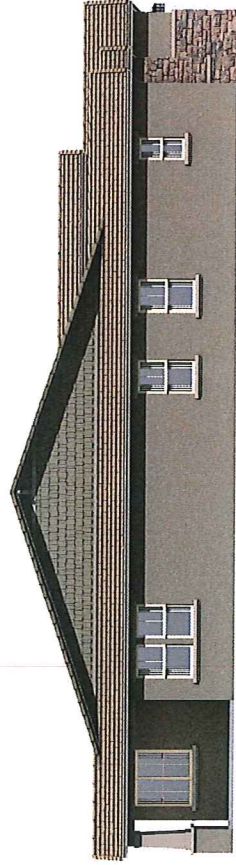
Right Elevation



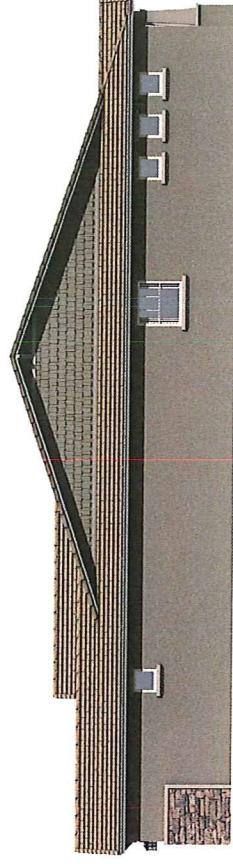
Rear Elevation



Front Elevation



Left Elevation



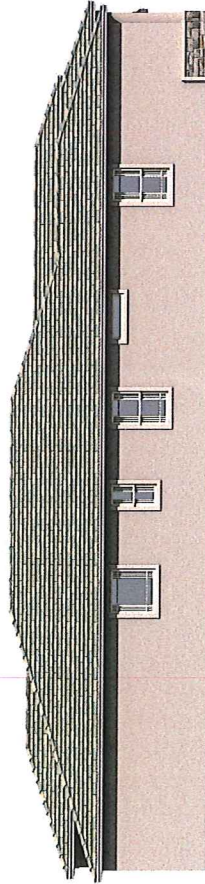
Right Elevation



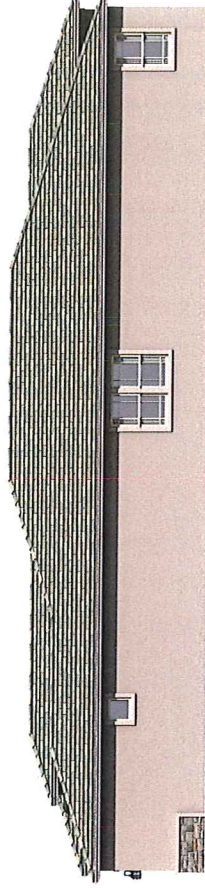
Rear Elevation



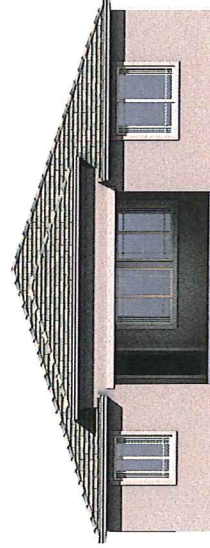
Front Elevation



Left Elevation



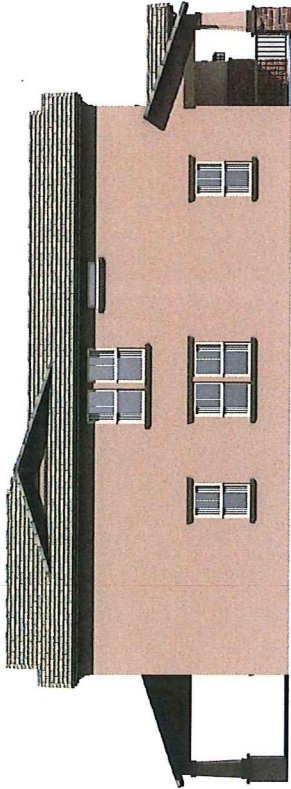
Right Elevation



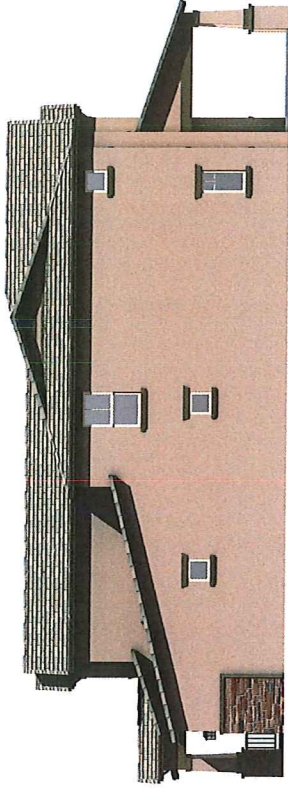
Rear Elevation



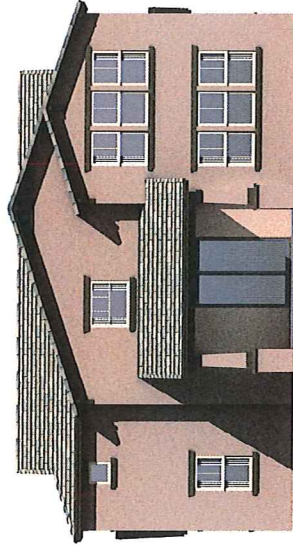
Front Elevation



Left Elevation



Right Elevation



Rear Elevation

Brock Powell
1425 East Victoria St.
Chandler, AZ 85249

To whom it may concern,

I am writing this letter to convey my appreciation for the home builder, Beazer homes.

Beazer homes is currently in the process of acquiring a few acres of land directly adjoining my property line. The builder is planning a gated community to be called "Lucinda".

Working with Beazer homes had been a pleasant experience from the start. I at first was apprehensive at the beginning in finding out that Beazer homes was interested in building a home division next to me. The worries I had quite honestly were dispelled within my first meeting and conversation with this home builder. They explained what there envision of the Lucinda planned community was and showed me the proposed drawings they had drafted up. The builder went on to explain that everything in the planned community was to the specification of the City of Chandler's building codes and requirements. Once they finished showing me there planned project, there concern turned to any concerns or issues that I had or may have in the future if there proposal was accepted by the City of Chandler.

Most of my concerns had already been alleviated at this point. I still had a few worries concerning the dust control, the noise and the possibility of the many bugs that would impact my family and property once the project started.

The Beazer home representative assured me that the dust control is monitored by Maricopa County and that water trucks would be keeping the dust minimized. The construction noise times would be in accordance with the City of Chandler noise ordinance policy and that Beazer homes would have a pest control company take care of the area between our adjoining parcels.

Personally for me, it says a lot about a company when they take in there possible future neighbors' concerns in consideration from the start of project.

Since that meeting, I have been kept updated about the project through mail, emails, phone calls and in person. I very much respect the professionalism and the thoroughness of how the builder has been with the planning of their Lucinda project.

Sincerely,

Brock Powell